



City of Cranston
Zoning Board of Review
October 09, 2024

Chairman of the Board
Christopher E. Buonanno

Members

Joy Montanaro (Vice-Chair)

Ivy Swinski

Dean Perdikakis

Carlos Zambrano

Anthony Mastantuono (1st Alternate)

Vacant (2nd Alternate)

Frank Corrao III (3rd Alternate)

Vacant (4th Alternate)

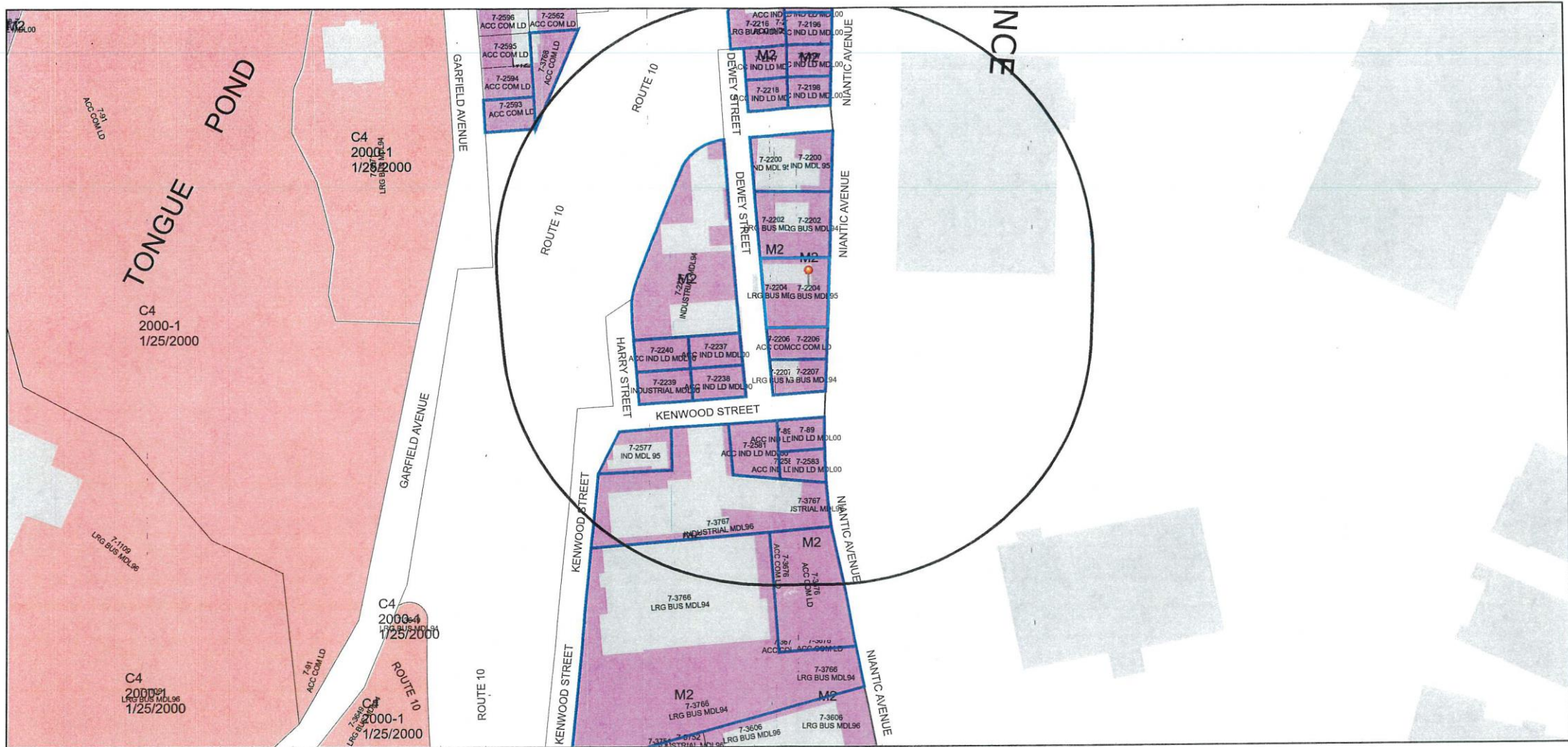
► Ward 3

► **FRANK ZINCONE (OWN) and ERCILIO'S ELECTRICO AUTO, INC. (APP)** have filed an application to enclose a canopy addition, modifying a previously approved variance on an automobile repair facility at **173 Niantic Ave.** A.P. 7, lot 2204; area 9,096 s.f.; zoned M2. Applicant seeks relief per 17.92.010-Variance; Section 17.20.120-Schedule of Intensity Regulations.

► Application filed 8/14/2024. Robert D. Murray, Esq.



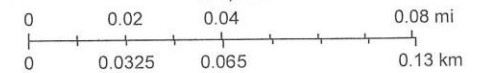
173 Niantic Ave 400' Radius Plat 7 Lot 2204



6/21/2024, 9:11:39 AM

- | | | | | | | | |
|----------------------------|--|---------------------------|-----|--|----|--|-------|
| Selected Parcels in Buffer | | Parcels | A80 | | B2 | | M1 |
| Selected Parcels | | Buildings | A20 | | C1 | | M2 |
| Parcels In Buffer | | Zoning Dimensions | A12 | | C2 | | EI |
| Parcel ID Labels | | Historic Overlay District | A8 | | C3 | | MPD |
| Streets Names | | Zoning | A6 | | C4 | | S1 |
| Cranston Boundary | | none | B1 | | C5 | | Other |

1:1,776



City of Cranston

PLAN REFERENCES:

CITY CLERKS OFFICE
PLAT CARD 111 ENTITLED
"CITY LINE PARK"

DEED BOOK 1273, PAGE 209

SERVICE ENCLOSURE PLAN FOR ERCILIOS ELECTRO AUTO
BY MANOUKIAN ARCHITECT

ZONING NOTES:

ALL LOTS SHOWN ARE LOCATED IN A M-2 ZONE

PARKING NOTES:

PARKING PROVIDED
5 - 9'x18' SPACES
1 - 8'x18' HANDICAP SPACE
w/ 8' WIDE RESERVE ISLE
6 SPACES TOTAL

FEMA INFORMATION:

ALL LOTS SHOWN & ALL IMPROVEMENTS THEREON ARE
LOCATED IN A ZONE "X" PER FEMA MAP
#44007C0312H, EFFECTIVE DATE 10/02/2015.

DIGSAFE:

All underground utilities shown have been located using the best
available information. It is advised that prior to any
excavation or construction, all utilities be verified by the
appropriate utility companies and by DIGSAFE (1-888-344-7233)

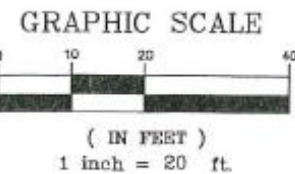
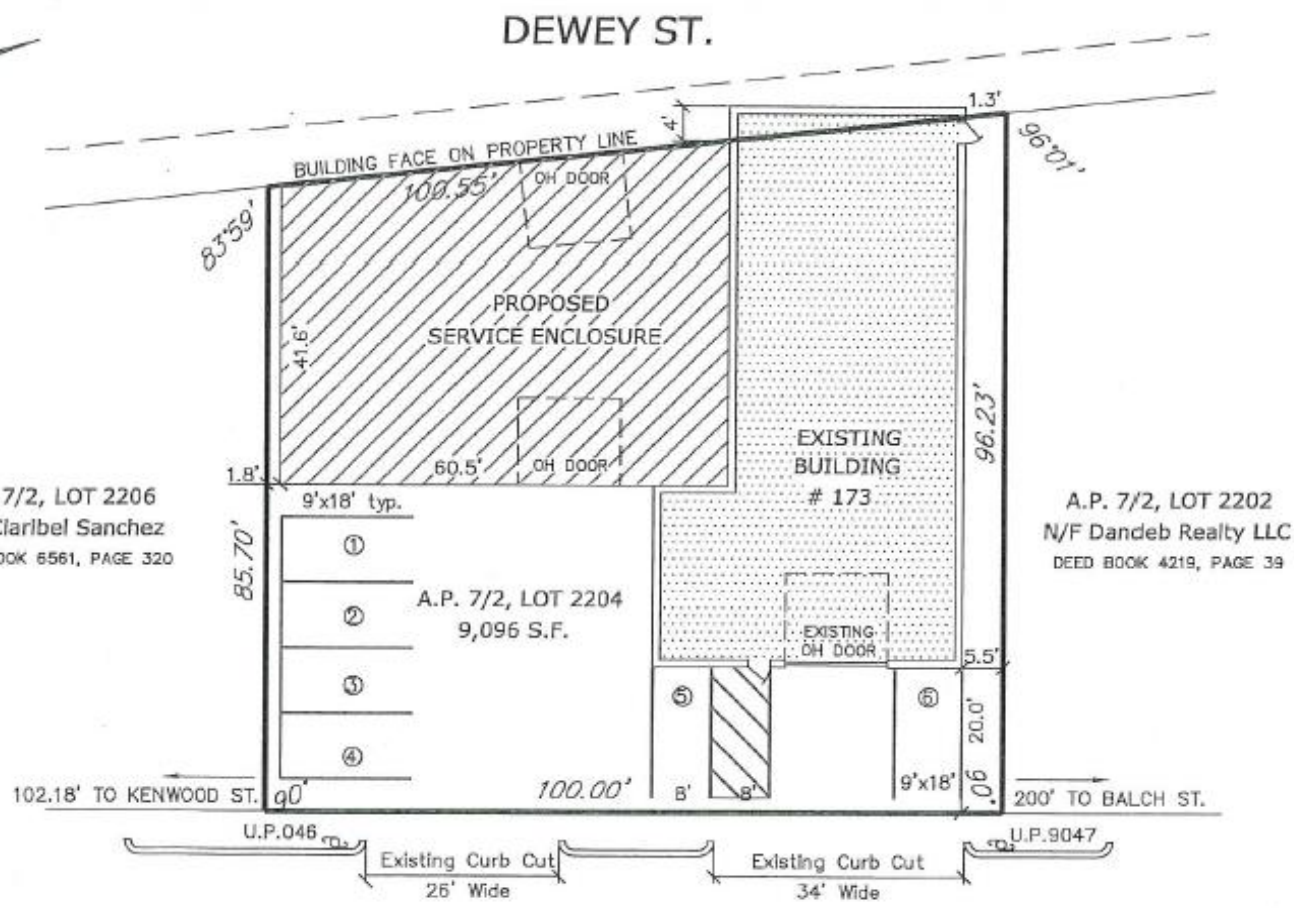
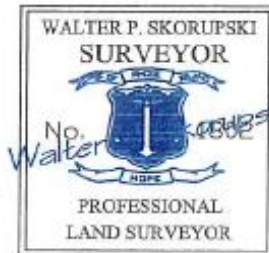
CERTIFICATION:

This Survey has been conducted and the Plan prepared
pursuant to Section 9 of the Rules and Regulations
adopted by the Rhode Island Board of Registration
for Professional Land Surveyors.

AMENDMENT TO BOUNDARY SURVEY & SITE FEATURES - CLASS I
ORIGINAL SURVEY DATED JUNE, 2016 BY W.P. SKORUPSKI

The Purpose and the Conduct of the Survey and for the
Preparation of the Plan is as Follows:
To Demonstrate the Location and Dimensions of Existing Site
Features, Proposed Addition and Perimeter Property Lines
at 173 Niantic Ave., City of Cranston, A. P. 7/2, Lot 1548.

By: Walter P. Skorupski 7/11/2024
Walter P. Skorupski Date:
Registered Professional Land Surveyor
LS A378-COA



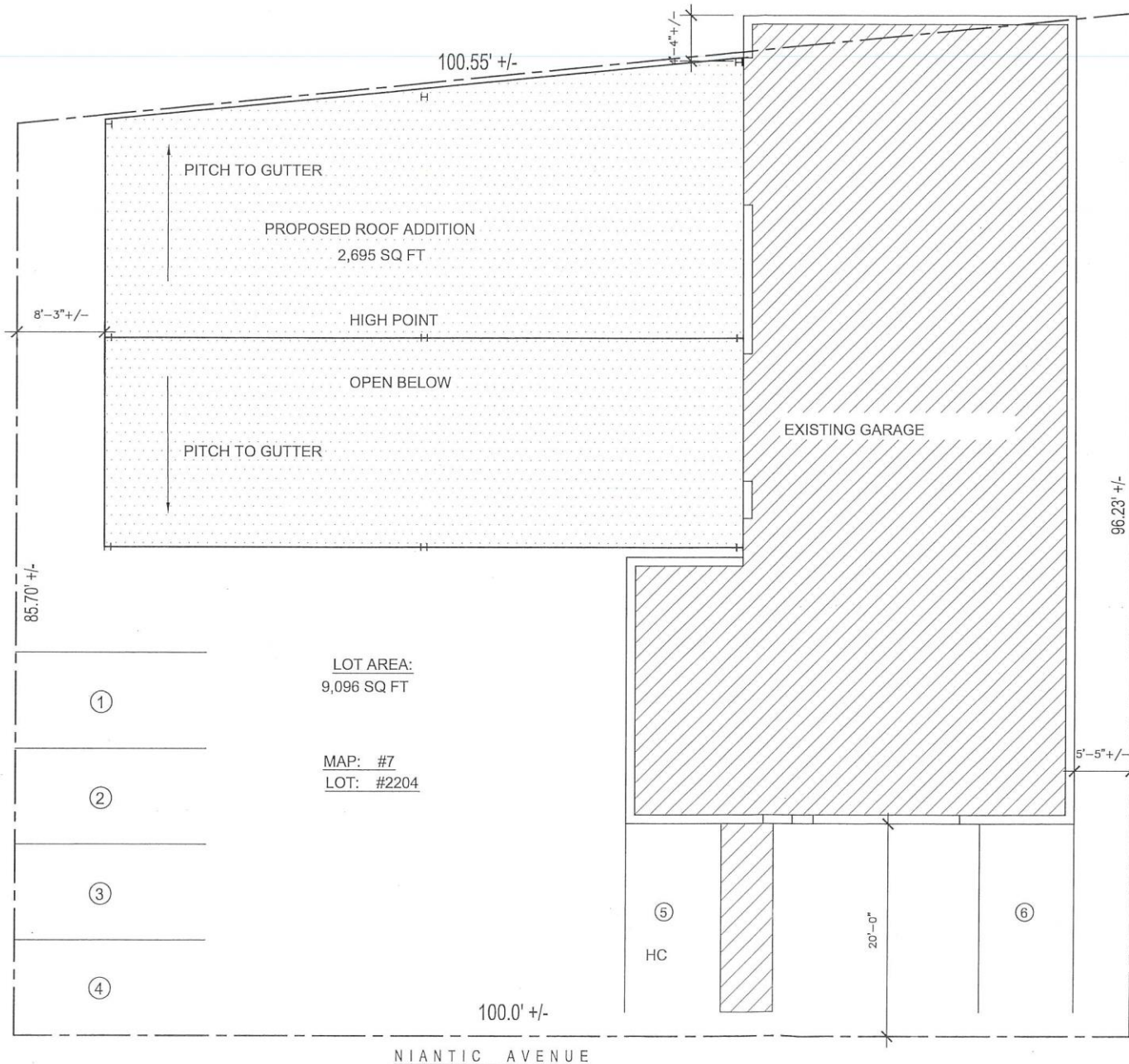
NIANTIC AVE.

OWNER:
FRANK A. ZINCONE Jr.
550 ATWOOD AVENUE
CRANSTON, R.I. 02920

SURVEYOR:
WALTER P. SKORUPSKI
7 WESSEX STREET
CRANSTON, R.I. 02910
JULY, 2024

**SITE PLAN SHOWING
PROPOSED SERVICE ENCLOSURE
FOR ERCILIOS ELECTRO AUTO**

CITY OF CRANSTON
173 NIANTIC AVENUE
ASSESSOR'S PLAT 7/2
LOTS 2204



LOT AREA:
9,096 SQ FT

MAP: #7
LOT: #2204

①

②

③

④

⑤

HC

⑥

NIANTIC AVENUE

OWNER:
FRANK A. ZINCONE
550 ATWOOD AVENUE
CRANSTON, RHODE ISLAND 02920

PROPERTY ADDRESS
173 NIANTIC AVENUE
CRANSTON, RHODE ISLAND 02907

MAP: #7
LOT: #2204
ZONE: M2

LOT AREA: 9,096 SQ FT

MAX. ALLOW BLDG HEIGHT: 35'

MAX. ALLOW LOT COVERAGE: 60%

EXISTING BUILDING: 2,685 SQ FT

PROPOSED ADDITION: 2,696 SQ FT

ACTUAL LOT COVERAGE: 59%

SETBACK REQUIREMENTS FOR ZONE M2

FRONT YARD: 40'-0"

REAR YARD: 30'-0"

SIDE YARD: 25'-0"

NOTE:

SITE INFORMATION & NOTED DIMENSIONS
TAKEN FROM CITY RECORDS INFORMATION
SITE PLAN DOES NOT CONSTITUTE A SURVEY



PLOT PLAN
SCALE 1"=10'-0"

MANOUKIAN
A R C H I T E C T S
MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS
22 SEADY HILL DRIVE WEST WATRIK, R.I. 02893
PH: (401) 940-0000 FAX: (401) 928-0007

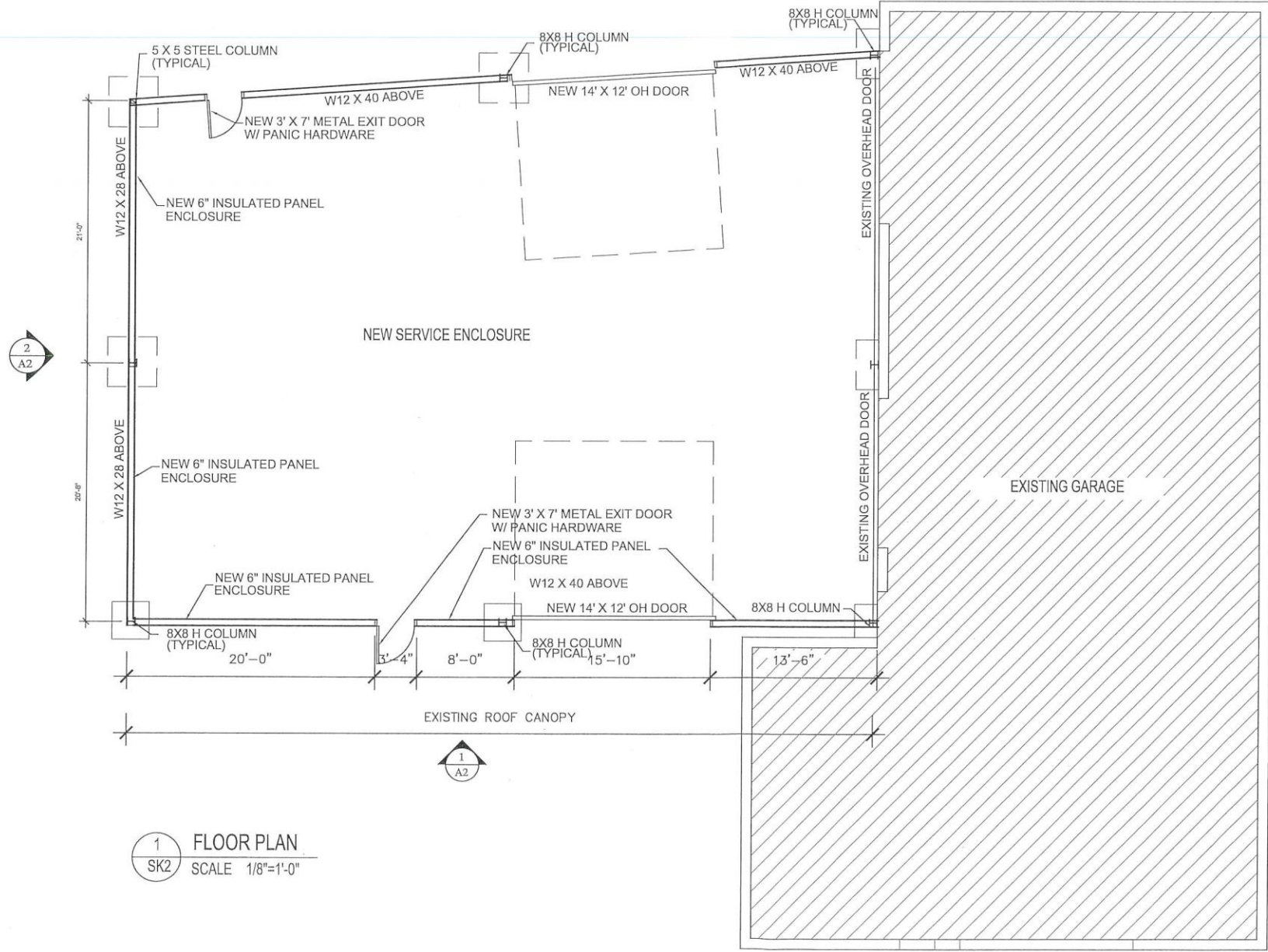
OPEN CANOPY DESIGN
ERCILIO'S ELECTRO AUTO
173 NIANTIC AVENUE
CRANSTON, RI 02907

REVISIONS

DATE	REVISIONS
9/13/21	ISSUE
6/21/24	RE-ISSUE

STAMP

SK-1



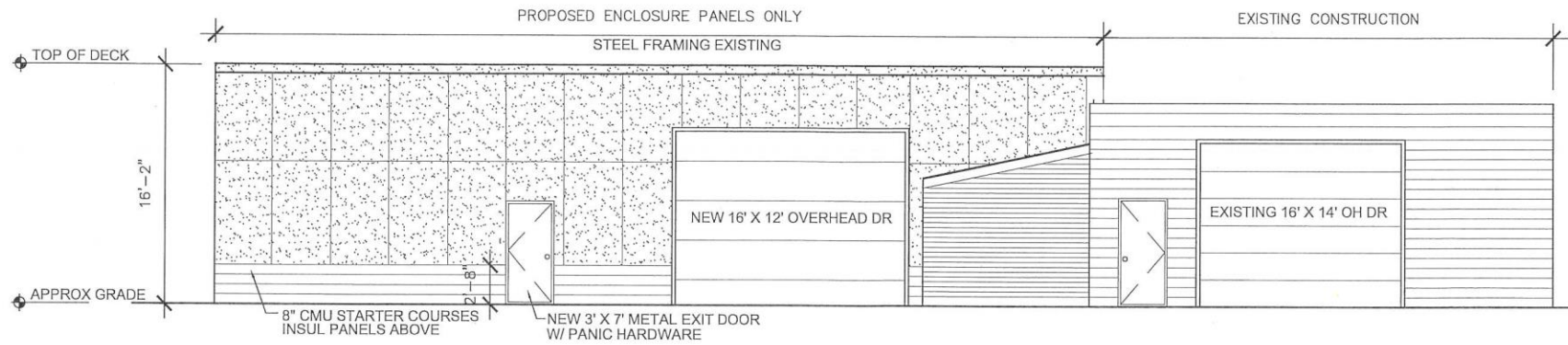
1 FLOOR PLAN
SK2 SCALE 1/8"=1'-0"

OPEN CANOPY DESIGN
ERCILIO'S ELECTRO AUTO
173 NIANITIC AVENUE
CRANSTON, RI 02907

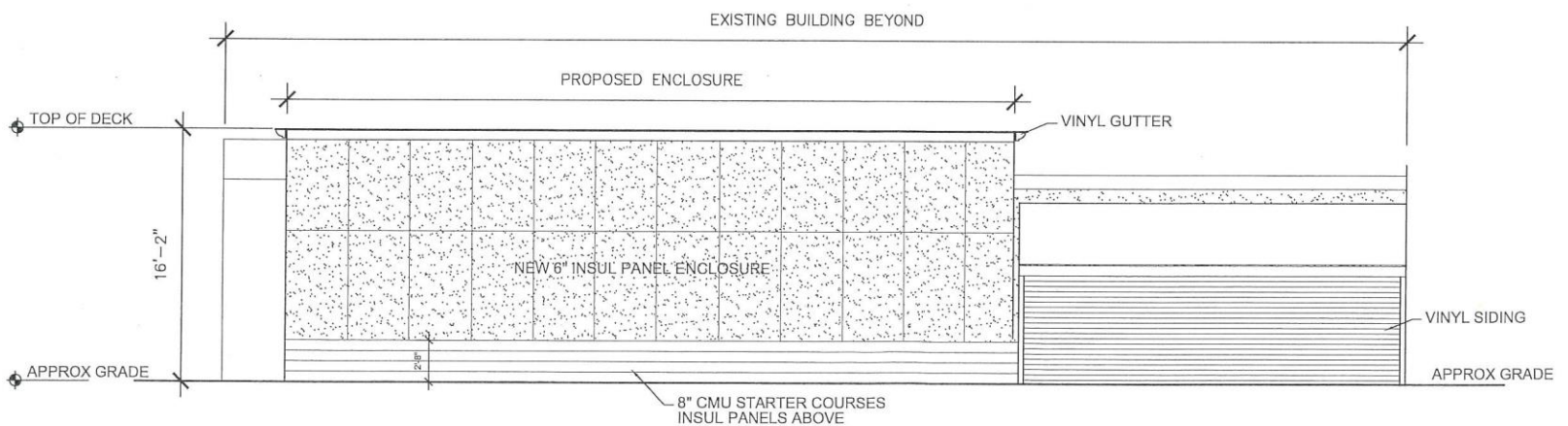
REVISIONS	
DATE	REVISIONS
9/13/21	ISSUE
6/21/24	RE-ISSUE

STAMP

SK-2



1 FRONT ELEVATION (NIANTIC AVE SIDE)
 SK3 SCALE 1/8"=1'-0"



2 LEFT SIDE ELEVATION
 SK3 SCALE 1/8"=1'-0"

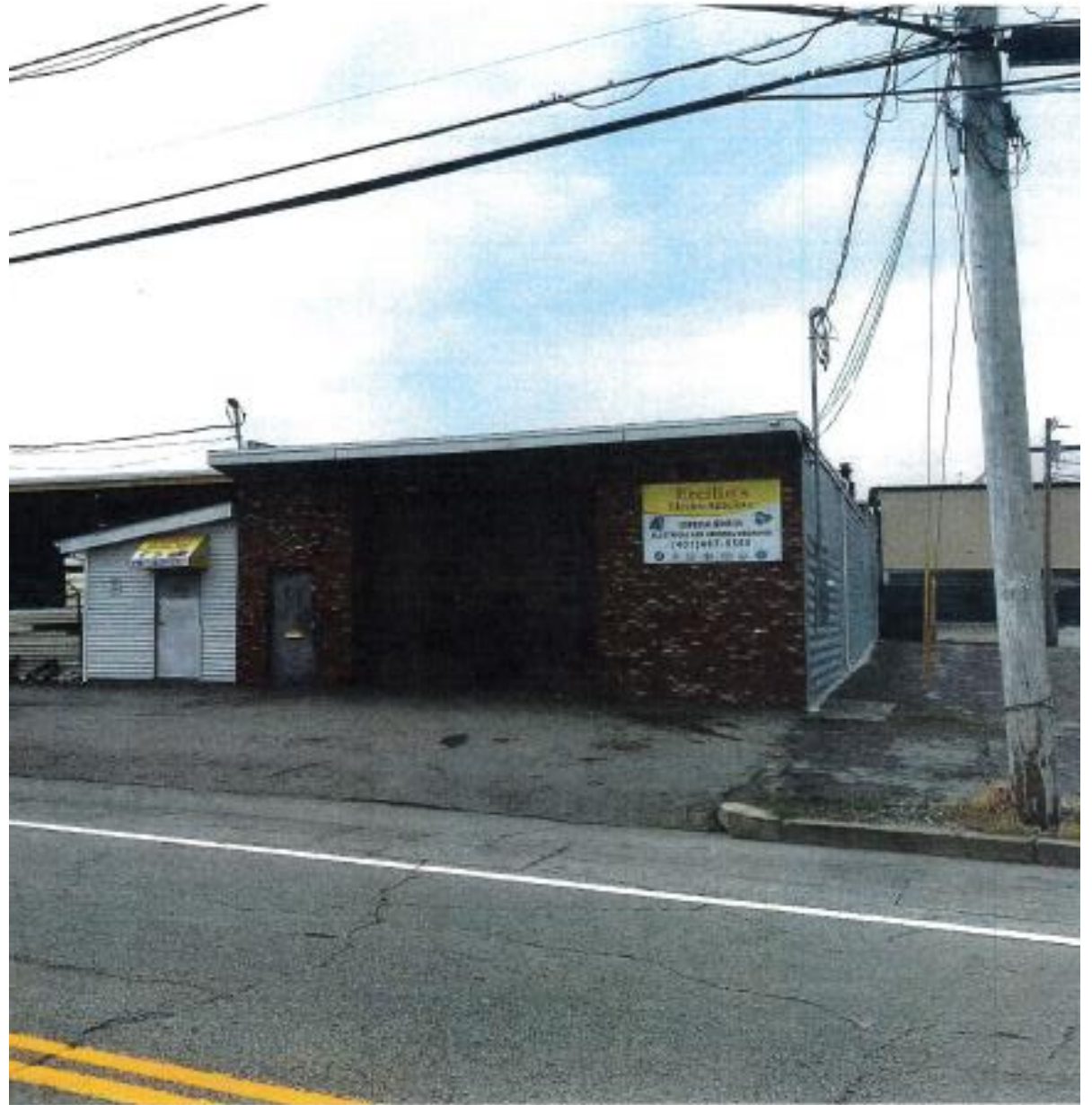
MANOUKIAN
 ARCHITECTS
 MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS
 22 SHADY HILL DRIVE WEST WARWICK, R.I. 02893
 PH: (401) 866-0800 FAX: (401) 866-5897

OPEN CANOPY DESIGN
 ERCILIO'S ELECTRO AUTO
 173 NIANTIC AVENUE
 CRANSTON, RI 02907

REVISIONS	
DATE	REVISIONS
9/13/21	ISSUE
6/21/24	RE-ISSUE

STAMP

SK-3



► **EILEEN BAEZ (OWN) and ANTHONY RAMOS (APP)** have applied to the Board for permission to construct two additions encroaching into a required side and a rear setback on a single-family dwelling, at **23 Longview Drive A.P. 16**, lot 910; area 10,546 s.f.; zoned A8. Applicant seeks relief per 17.92.010-Variance; Section 17.20.120-Schedule of Intensity Regulations.

► Application filed 9/13/2024.No Attorney.

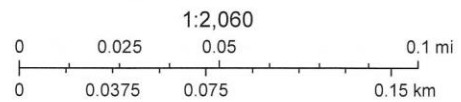


23 Longview Dr 400' Radius Plat 16 Lot 910



9/13/2024, 9:03:11 AM

- Selected Parcels in Buffer Parcels
 - Selected Parcels Buildings
 - Parcels In Buffer Zoning Dimensions
 - Parcel ID Labels Historic Overlay District
 - Streets Names Zoning
 - Cranston Boundary none
- | | | |
|-----|----|-------|
| A80 | B2 | M1 |
| A20 | C1 | M2 |
| A12 | C2 | EI |
| A8 | C3 | MPD |
| A6 | C4 | S1 |
| B1 | C5 | Other |

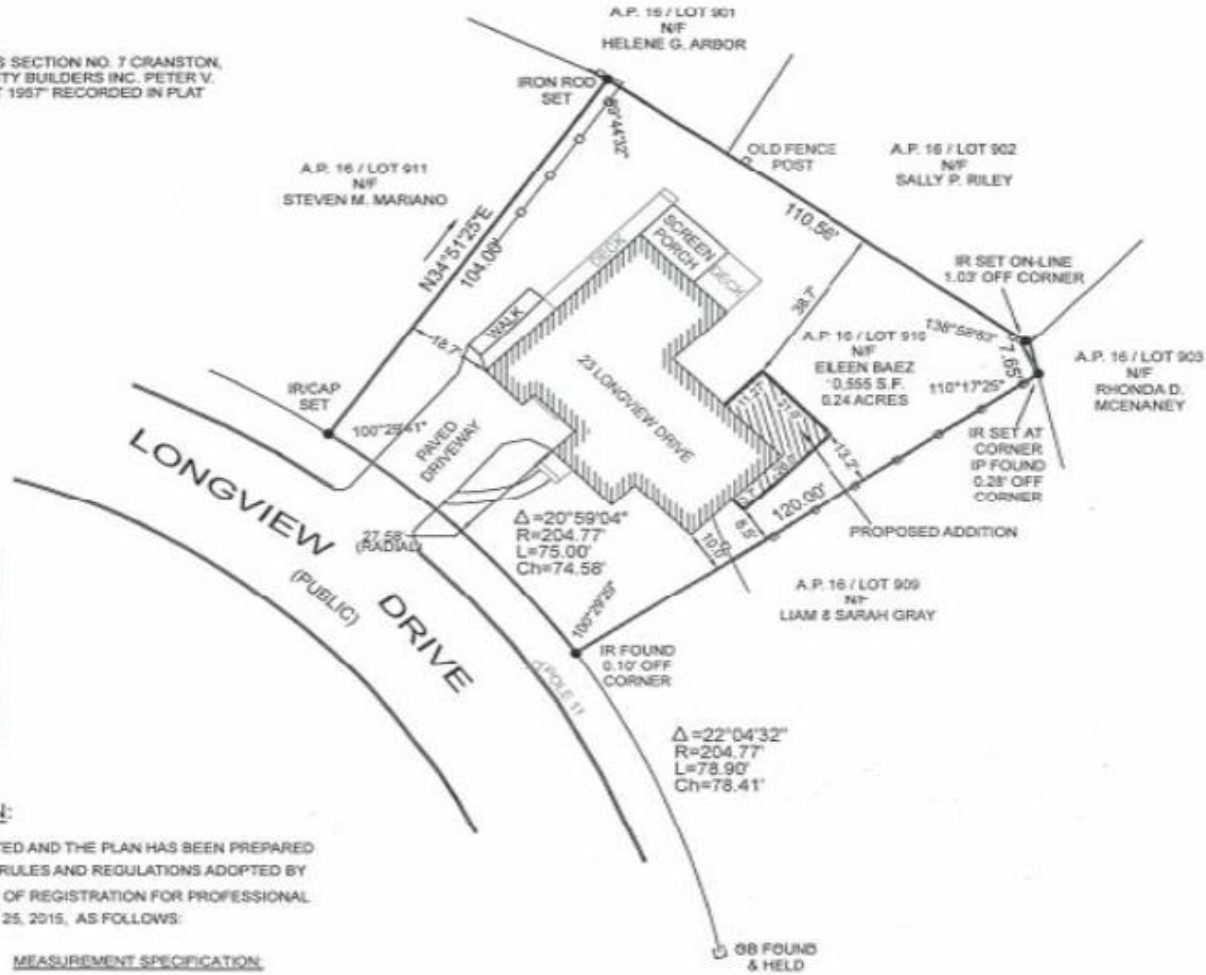


City of Cranston

SITE PLAN

REFERENCES:

1. DEED BOOK 6796, PAGE 223
2. PLAN ENTITLED "GARDEN HILLS SECTION NO. 7 CRANSTON, R.I. BELONGING TO GARDEN CITY BUILDERS INC. PETER V. CIPOLLA, ENGINEER - AUGUST 1957" RECORDED IN PLAT BOOK 15 AT PAGE 40.



SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION:



LIMITED CONTENT BOUNDARY SURVEY CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FOR A PROPOSED ADDITION.

TO ESTABLISH AND STRENGTHEN BOUNDARY LINES.

FIRST FLOOR- PROPOSAL PLAN



 <p>MICHE DESIGN & BUILD PERUNOVO LLC DC - 44255 75 HENRIETTA PLACE, SUITE 6 ANDOVER, MA 02820</p>	
<p>Team Architectural Designer Bryan Michie</p> <p>23 LONGVIEW DR. CRANSTON</p>	
<p>Client Anthony Ramos 23 Longview Dr. Cranston RI 02920, USA</p>	
<p>PROJECT: 23 Longview Dr.</p>	
<p>DATE: August 2024</p>	

ELEVATIONS



1 NORTH ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"



MICHELE DESIGN & BUILD
POLYANNOV LLC
60 - 4496
70 HIGHWAY PLAZA SUITE 4
PROVIDENCE, RI 02902

Team

Architectural Designer
Dylan Michele

23 LONGVIEW DR.
CRANSTON

Client
Anthony Ramos
23 Longview Dr.
Cranston
RI 02902, USA



PROJECT: 23 Longview Dr.

DATE: August 2024
SCALE: 3/16" = 1'-0"

ELEVATIONS - PROPOGAL

A105

ELEVATIONS



1 EAST ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"



MICHE DESIGN & BUILD
 POTRANNO LLC
 DC - 44658
 70 HERRICK PLACE, SUITE A
 WEST BRIDGE, WISCONSIN

Team
 Architectural Designer
 Bryan Miche

23 LONGVIEW DR.
 GRANSTON

Client:
 Anthony Ramos
 23 Longview Dr.
 Cranston
 RI 02909, USA



PROJECT: 23 Longview Dr.

DATE: August 2024
 SCALE: 3/16" = 1'-0"

ELEVATIONS - PROPOBAL

A106

